

RESOLUTION NO.: __2014-085 _____

RESOLUTION OF THE MAYOR AND THE CITY COUNCIL OF THE CITY OF HIALEAH, FLORIDA ISSUING A CERTIFICATE OF APPROPRIATENESS TO JUAN CARLOS OLIVA TO ALLOW HIM TO REMOVE THE EXISTING CARPORT AND BUILD A TWO-STORY ADDITION TO HIS PROPERTY, LOCATED AT 201 TOTOLOCHEE DRIVE, AND APPLY FOR THE NECESSARY BUILDING PERMIT(S) IN CONNECTION THEREWITH.

WHEREAS, Juan Carlos Oliva has applied for a certificate of appropriateness to allow him to remove the existing carport and build a two-story addition to his property, located at 201 Totolochee Drive, and apply for the necessary building permit(s) in connection therewith; and

WHEREAS, this property has been designated a historic site by the Hialeah Historic Preservation Board; and

WHEREAS, the proposed demolition of the carport and the proposed new construction are both in keeping with, and will not affect, the historic character of the home; and

WHEREAS, in fact, the carport was a poorly constructed addition from the 1950s that does not maintain the historic character of the home; and

WHEREAS, the new construction will consist of a new family room on the first floor, where the carport is currently located, a new studio room on the second floor, where the existing balcony is located, and a new covered balcony on the second floor, where the existing carport is located; and

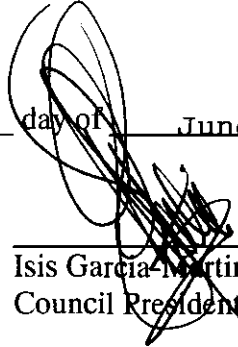
WHEREAS, in keeping with the historic character of the home, the new construction will include the use of asphalt shingle roofing on Dade Pine rafters and beams, and colonial-style wood and aluminum frames for the windows and doors; and

WHEREAS, the Hialeah Historic Preservation Board recommended approval of this resolution on June 18, 2014.

THEREFORE, BE IT RESOLVED BY THE MAYOR AND THE CITY COUNCIL OF THE CITY OF HIALEAH, FLORIDA, THAT:

Section 1. A certificate of appropriateness be issued to Juan Carlos Oliva, to allow him to remove the existing carport and build a two-story addition to his existing property, located at 201 Totolochee Drive, and apply for the necessary building permit(s) in connection therewith.

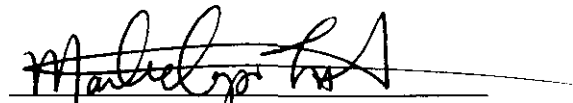
PASSED AND ADOPTED this 24 day of June, 2014.

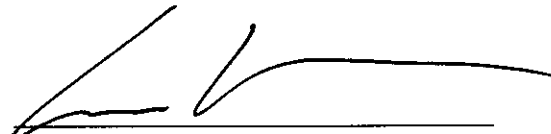


Isis Garcia-Martinez
Council President

Attest:

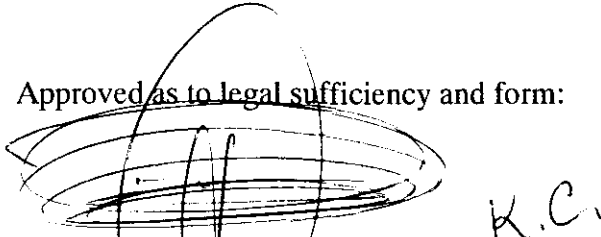
Approved on this 02 day of July, 2014.



Martelys Fatjo
Acting City Clerk

Mayor Carlos Hernandez

Approved as to legal sufficiency and form:



Lorena E. Bravo
Acting City Attorney

Resolution was adopted by a unanimous vote with Councilmembers, Caragol; Casals-Muñoz, Cue-Fuente, Garcia-Martinez, González, Hernandez and Lozano voting "Yes".

**APPLICATION FOR A
CERTIFICATE OF APPROPRIATENESS**

OFFICE USE:

Type of Application: Regular Special

Name of Property: _____ Designation No. _____

Address of Property: 201 Totobee Dr. Application Date: _____

Name of Owner: Juan Carlos Ojeda Date of Designation: _____

Name of Applicant: _____ Type of Designation: _____ Individual Site

Address of Applicant: _____ Property in a District: _____

Applicant is: Owner Leasee Other: _____

LOCATION OF PROPERTY: Subdivision _____ Lot _____ Block _____

PRESENT USE AND CONDITION: Residential – Single Family Home in Good Condition

CLASSIFICATION OF WORK FOR WHICH CERTIFICATE IS DESIRED (CHECK ONE):

- Maintenance or Repair: The act or process of applying measures to sustain the existing form, integrity and material of a building or structure and the existing form or vegetative cover of a site. It may include initial stabilization work, where necessary, as well as on-going maintenance and repair. Samples of materials may be requested.
- Restoration: The process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of the removal of later work or by the replacement of missing earlier work. All applications for restoration shall include: elevations, site and landscape plans (if necessary), a 300-word statement with bibliography justifying the work and any additional photos or information to support the proposed work.
- Rehabilitation: The process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural and cultural values. All applications for rehabilitation shall include: elevations, site and landscape plans (if necessary), and any other supplementary information that will support the proposed project.
- Excavation: The process of performing an archeological dig to recover artifacts, historical material or other archeological features. It is recommended that the applicant include a 300-word statement describing the project, its methodology and where the recovered material will be disposed.
- Demolition: The process of destroying or tearing down a building or structure or a part thereof, or the process of removing or destroying an archeological site or part thereof. The applicant(s) shall include a report explaining why the proposed action should occur. If this action is to occur for reasons of financial hardship, all pertinent financial data should be included pertaining to the cost of preservation, demolition and new construction. Any other material pertinent to the application is also encouraged as supplementary information.
- New Construction: The process of constructing a building or structure that has never existed at that location. Applications shall include a site plan, elevations, floor plan and landscape plan.
- Relocation: The process of moving a building or structure from its current foundation to another site. Applications shall include a report justifying the relocation and indicating that efforts to preserve the building on-site would not be feasible and justifying the proposed relocation site.

All applications shall include one or two 3" x 5" photographs of the designated property.

DESCRIPTION OF THE PROPOSED PROJECT:

The home owner wants to remove the existing carport and make a 2 story addition to the existing home in the same location. The homeowner would like to maintain the historic character of the home with the new addition. In fact, the carport was apparently a poor addition that was made in the 1950's which does not maintain the historic character of the home. What he is proposing is more in line with the original home. The homeowner simply wants to add a new enclosed family room, studio and covered balcony. (Please see attached drawings.)

BUILDING FEATURES:

Structural System: 2 story Wood Platform Framed Structure

Roofs and Roofing: Asphalt Shingle Roofing on Dade Pine Rafters and Beams

Windows and Doors: Colonial Style Wood and Aluminum Frames

Materials: Wood Frame walls, siding and sheathing.

Porches, Porte Cocheres and Steps: Brick paver steps and an existing car port constructed of brick columns and wood rafters.

Painting and Finishes: Painted exterior white walls with black trim.

ENVIRONMENTAL FEATURES (grading, landscaping, parking, subsurface work, etc.)

There will be no new landscape, grading, or parking. Those items are to remain as existing. The only subsurface work will be for the foundations of new addition.

OVERALL DESCRIPTION OF THE PROJECT

(Explain the chronology of the work involved and describe all new construction, excavation, demolition and relocation that will be required):

The homeowner would like to remove the existing carport that was not part of the original home. It appears that the carport was added in the 1950's and does not maintain the character of the home. In its place, he would like to construct a 2 story addition that we feel is more in line with the character of the home and maintains its original intent.

After the demolition of the carport, (if approved by the board), the next step is to excavate the area of the demolition to pour the new foundations for the addition. There will be no relocation or landscape as part of the scope of work. The homeowner is constructing the new addition directly on the same location of the existing carport.

The new addition will include the following new spaces:

1st Floor:

- New Family Room (Located where existing carport is now)

2nd Floor:

- New Studio Room (Located where existing balcony is located)
- New Covered Balcony (Located where existing carport is now)

DESCRIBE USE OF THE BUILDING AFTER WORK IS COMPLETED:

- **Residential – Single Family Home**

IMPACT OF NEW USE ON THE FUTURE PRESERVATION OF

Building: The home will be used as the homeowner's primary residence

Neighborhood: Improved use of home and increase of home values in neighborhood

Signature of the Applicant: _____

Date: _____

6/12/14

Signature of the Owner: _____

Date: _____

6/12/14

NOTE: The Certificate of Appropriateness is valid for a period of 180 days after the date of its approval. After the expiration date, a 60-day grace period may be allowed to complete work in progress, if the owner can show cause why the work has not been completed. Otherwise, the owner must reapply.

This application will not be considered until the required supplementary material has been provided and the applicant and the owner sign the application attesting the truthfulness of the information provided.

REGULAR CERTIFICATE OF APPROPRIATENESS:

____ On-site Inspection

Date: _____

____ Analysis Preparation

Date: _____

____ Notification of Decision

Date: _____

____ Additional Materials Requested

Date Received: _____

Date of Expiration: _____

Expiration of Grace Period: _____

STAFF RECOMMENDATIONS:

____ Approved

____ Denied

____ Approved, pending modifications

____ Final Approval

Signature of Historic Preservation Division Director

Date

cube² (architecture+design)

Oliva Residence

201 To-To-Lo-Chee Dr.
Hialeah, FL 33010



Interior and Exterior Renovations

Job Number: 2014_20

June 12th, 2014

BINDING EDGE

cube²

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Oliva Residence

Juan Carlos Oliva

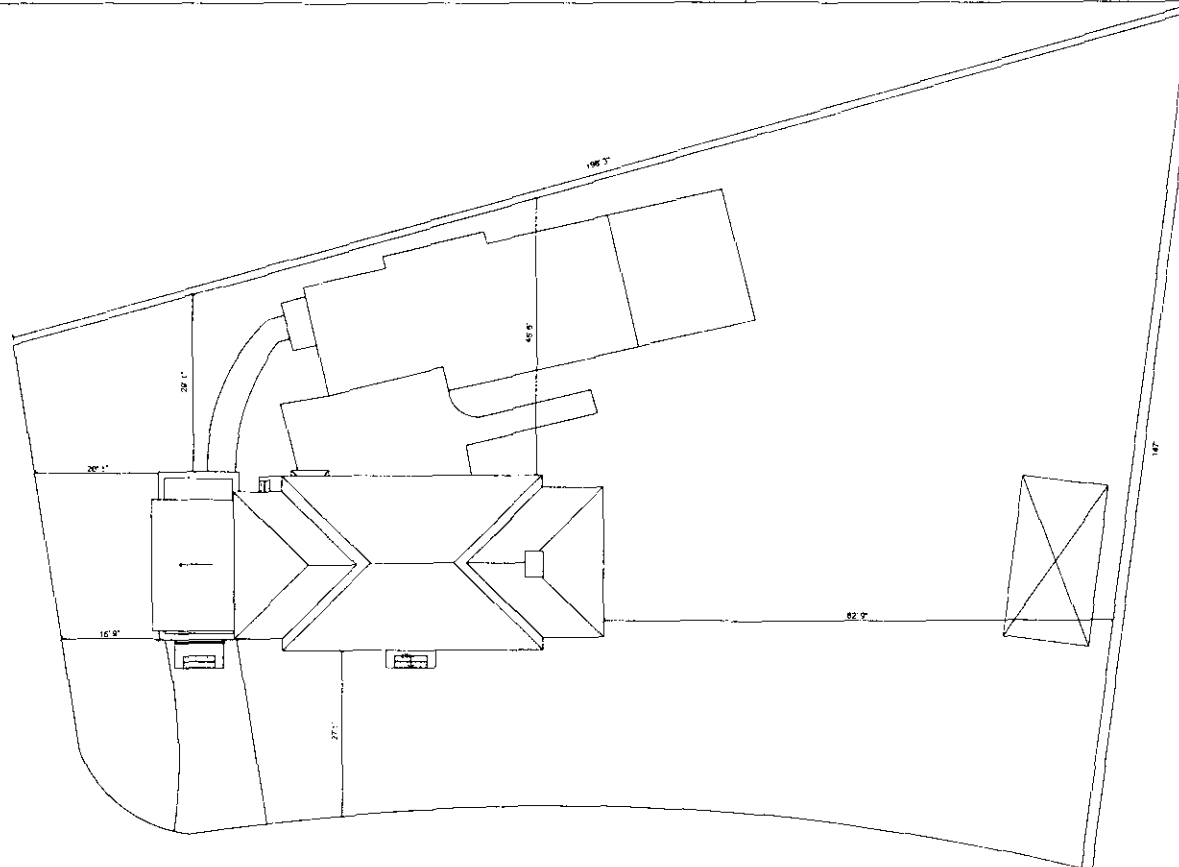
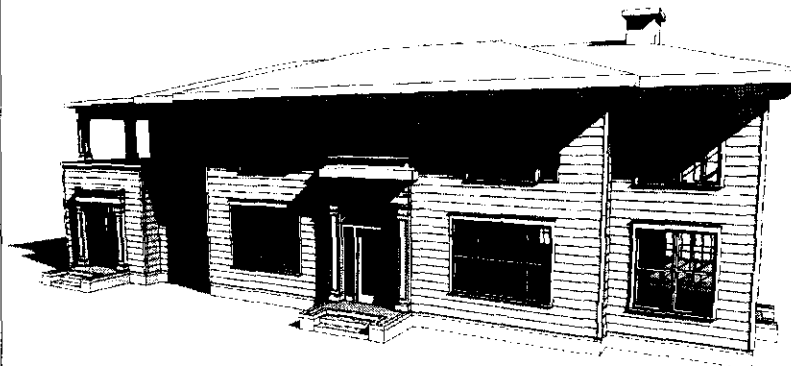
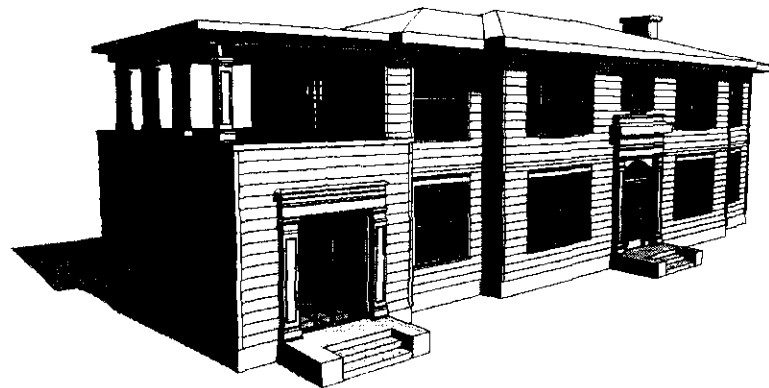
201 To-To-Lo-Chee Dr.
 Hialeah, Florida 33010

Design Professional	FL License Number	Signature
Jorge Alberto Parnes	AR2604 ID2632	

Number	Issue	Date	Revision

Proposed Site
 Plan & Building
 3D Views

A-050



Code Compliance
 Code of Ordinances, City of Miami, 2013.

Sec. 05-450: Building height limit
 The maximum building height in the R-1 one-family district shall be 2 1/2 stories or 35 feet.

Sec. 05-460: Building area required
 The minimum building area in the R-1 one-family district shall be one lot or parcel of land containing at least 2,500 square feet of area for each one-family residence. Such parcels or lots shall have an average width of at least 75 feet and shall have a minimum average depth of 100 feet. Where a lot or parcel of land does not meet the requirements of this section and a legally qualified parcel of land of the same or lessage of such requirements, said lot or parcel may be occupied by a one-family residence, provided, however, that the minimum front, rear and side yard requirements set out in this division are complied with and the conditions of section 05-340 are met.

Sec. 05-500: Front yard required
 In the R-1 one-family district, there shall be a front yard depth not less than 20 feet in distance from the front lot line. A porch, however, may encroach with the front setback up to a maximum of 15 feet, provided, however, that the roof of the porch encroaches a stamped architectural and structural with the roof of the residential building and that the driveway is improved with paving, stamped concrete or other city-approved materials that differ from plain asphalt.

Sec. 05-501: Side yards required
 In the R-1 one-family district, there shall be side yards the width of each to be not less than ten percent of the average width of the lot, but in no case shall such side yard be less than five feet or more than 7 1/2 feet in width. For a corner lot, the side yard parallel to the street shall be not less than 15 feet.

Sec. 05-504: Type of construction
 Any structure erected in the R-1 one-family district shall conform to the requirements of the South Florida Building Code.

Sec. 05-505: Corner lots
 (a) For the purpose of establishing the division, it shall be assumed that the long dimension of a residential lot may be redesigned as the front.
 (b) A residential building may be constructed on a corner lot facing the long dimension of one of the setbacks except the same as if the structure had faced the short dimension of the lot.
 (c) A residential building on a square lot may, from either direction of the setbacks, remain the same as if the building faced the direction which would normally be considered as the front of the lot.

BINDING EDGE

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www.cube2architecture.com
sa-26001789
ib-26001134

Oliva Residence

Juan Carlos Oliva

201 To-To-Lo-Chee Dr.
Hialeah, Florida 33010

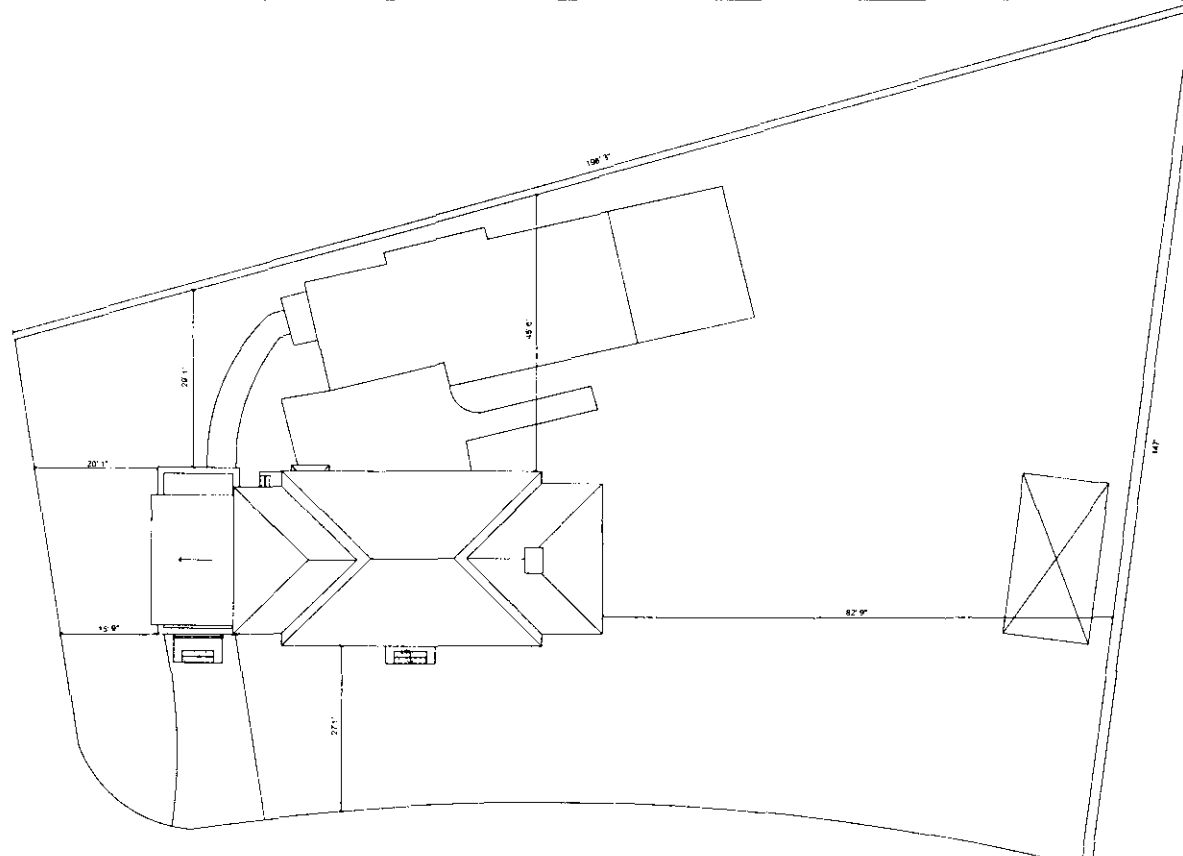
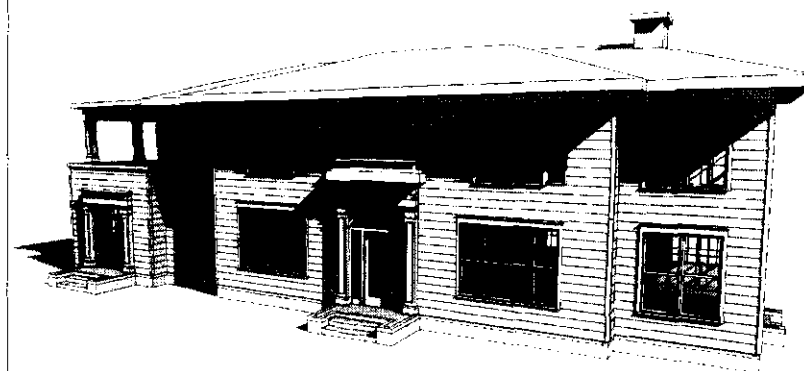
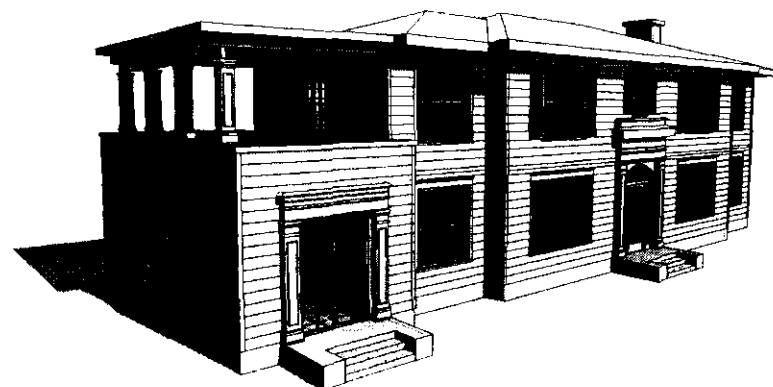
Design Professional	FL License Number	Signature
Jorge Alberto Ponce	AR99004 / D 9032	

Revisions		
Number	Date	Description

Proposed Site Plan & Building 3D Views

A-050

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Code Commentary
City of Hialeah, 2013

Sec. 98-543 Building height limit
The maximum building height in the R-1 one-family district shall be 2 1/2 stories or 35 feet.

Sec. 98-546 Building site area required
The minimum building area in the R-1 one-family district shall be one lot or parcel of land containing at least 7,500 square feet of area for each one-family residence. Such parcels or lots shall have an average width of at least 70 feet and shall also have a minimum average depth of 100 feet. Where a lot or parcel of land does not meet the requirements of this section and is a legally divided parcel of land at the time of passage of such requirements, said lot or parcel may be occupied by a one-family residence, provided, however, that the minimum front, rear and side yard requirements are set out in the division are complied with and the conditions of section 98-548 are met.

Sec. 98-550 Front yard required
In the R-1 one-family district, there shall be a front yard depth not less than 20 feet in distance from the front lot line. A porte cochere may encroach with the front setback up to a maximum of 15 feet, provided, however, that the roof of the porte cochere is integrated architecturally and structurally with the roof of the residential building and that the driveway is constructed with a stamped concrete or other city-approved materials that differ from plain asphalt.

Sec. 98-551 Side yards required
In the R-1 one-family district, there shall be side yards the width of each to be not less than ten percent of the average width of the lot, but in no case shall such side yard be less than five feet and in no case shall 17 1/2 feet or less. For a corner lot, the side yard parallel abutting the street shall be not less than 15 feet.

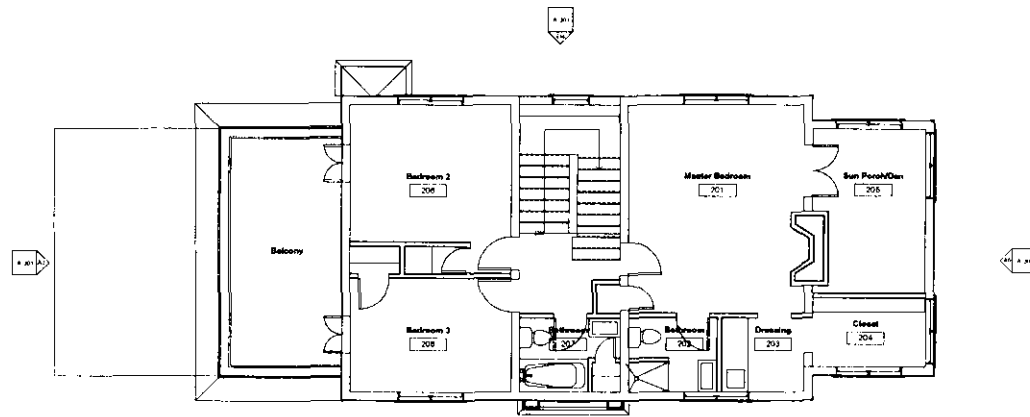
Sec. 98-504 Type of construction
Any structure erected in an R-1 one-family district shall conform to the requirements of the South Florida Building Code.

Sec. 98-505 Corner lots
(a) For the purpose of interpreting the division it shall be assumed that the long dimension of a residential lot may be recognized as the front.
(b) A residential building may be constructed on a corner lot facing the long dimension of the lot if the setbacks remain the same as if the structure had faced the short dimension of the lot.
(c) A residential building on a square lot may face in the direction of the setbacks remain the same as if the building faced the direction which would ordinarily be considered as the front of the lot.

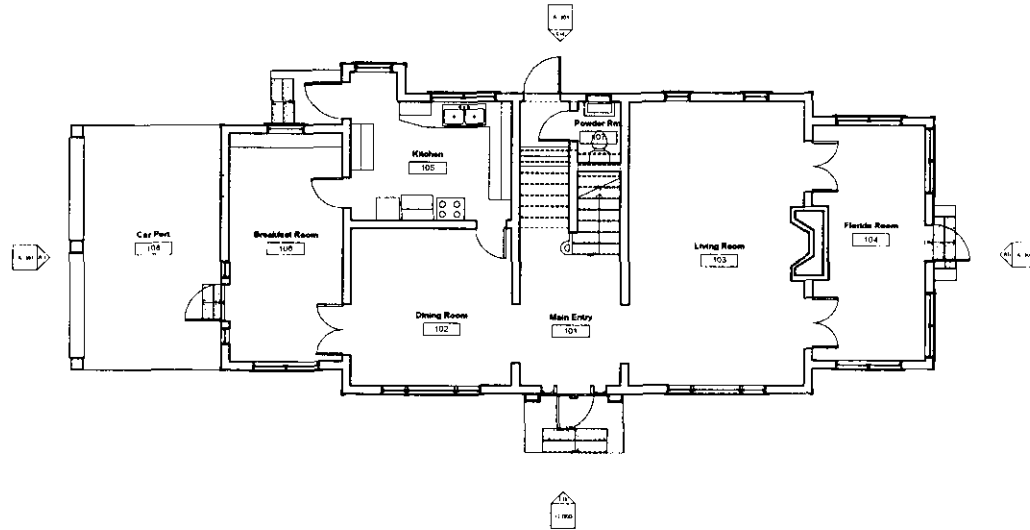
BINDING EDGE

Proposed Site Plan
1/4" = 1'-0"

BINDING EDGE



Existing Second Level
1/4" = 1'-0"



Existing Ground Level
1/4" = 1'-0"

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lb-26001134

Oliva Residence

Juan Carlos Oliva

201 To-To-Lo-Chee Dr.
Hialeah, Florida 33010

Design Professional	FL License Number	Signature
Jorge Alberto Planas	AR02004 109632	

Revisions		
Number	Issue	Date

Sheet Information	
Date	8/11/2014
Job Number	2014-20
Scale	1/4" = 1'-0"
Design	JAP
Checked	JAP
Approved	JAP
	Title

Existing Floor Plans

A-101

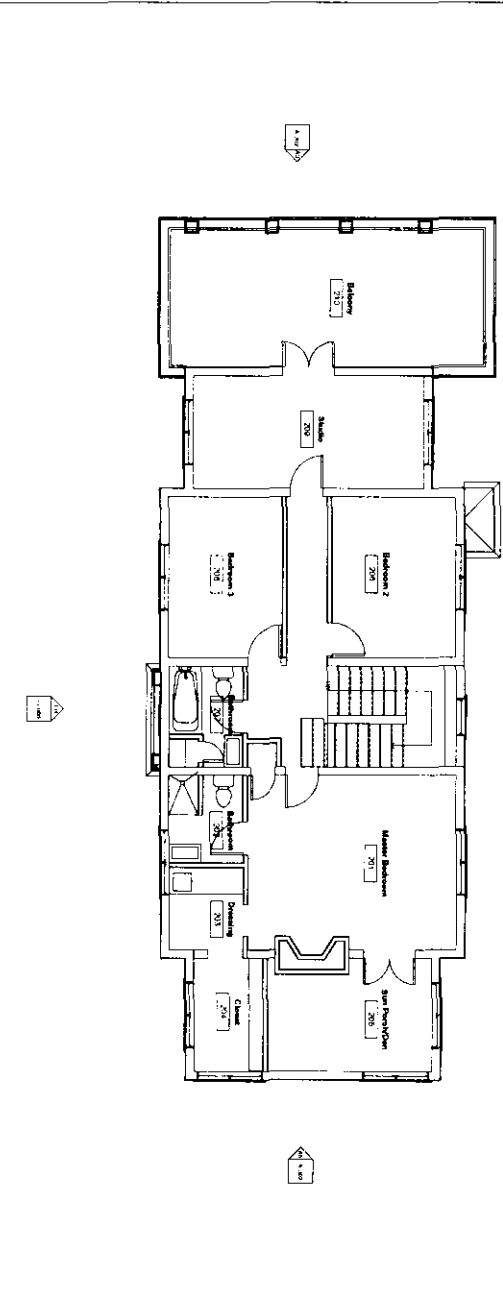
GENERAL NOTES

1. ALL NEW DOORS AND WINDOWS TO BE REVIEWED AND SET-CHECKED BY ARCHITECT
2. ALL NEW INTERIOR WALLS MUST HAVE AN S100 RATING OF 22
3. ALL EXTERIOR DOORS AND WINDOWS UNLESS OTHERWISE SPECIFIED, SHALL BE REINFORCED WITH AN APPROVED PRODUCT
4. ALL NEW INTERIOR GYPSUM WALL BOARD MUST KEEP TO THE MANUFACTURER'S RECOMMENDATIONS
5. REFER TO SHEET FLOOR FOR ALL WALLS TO BE REMOVED OR DEVELOPED
6. REFER TO STRUCTURAL DRAWINGS FOR LOCATION OF ALL NEW REINFORCED WALLS AND SOLUTIONS

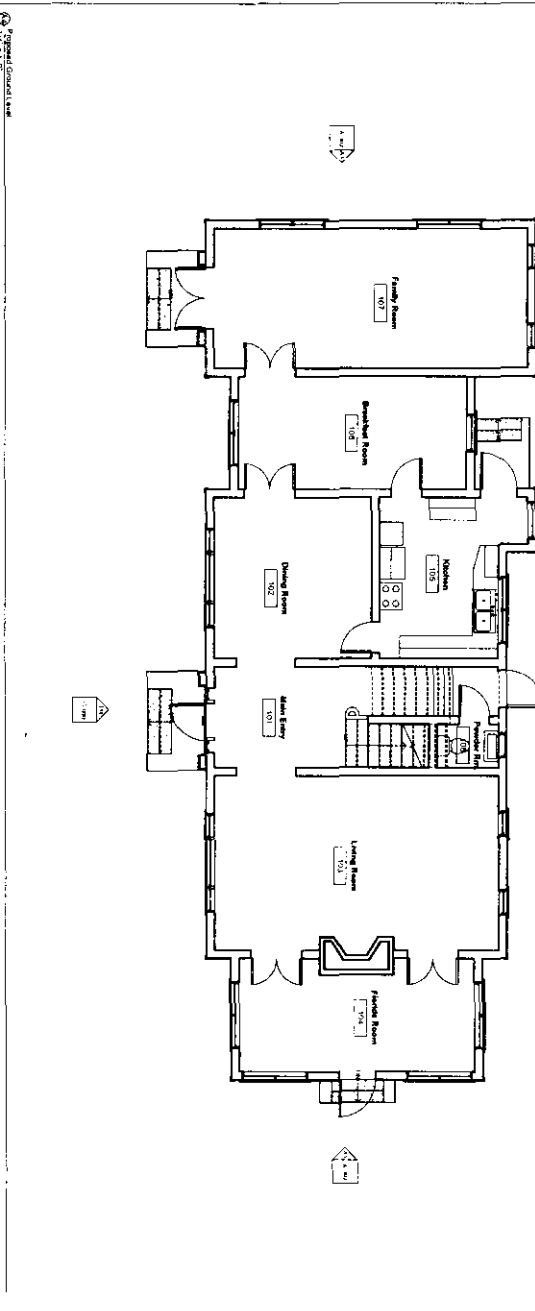
TERMIITE PROTECTION CRITERIA

1. A STRUCTURAL OR CORE MASONRY BEARING TO THE BUILDING REPAIRMENT BY A LICENSED PEST CONTROL COMPANY REQUIRED FOR OCCUPANCY WILL BE REQUIRED FOR ALL NEW EXTERIOR WALLS AND INTERIORS OF THE BUILDING HAS BEEN RECEIVED FROM THE PREVIOUS TREATMENT AND ACCORDANCE WITH THE RULES AND STANDARDS OF THE DEPARTMENT OF CONSTRUCTION AND COMMUNITY DEVELOPMENT.
2. INITIAL TREATMENT SHALL BE DONE AFTER ALL EXCAVATION AND MOUNDING IS COMPLETED PER 2010 SECTION 800 11
3. SOIL DISTURBED AFTER THE INITIAL TREATMENT SHALL BE PROTECTED WITH AN APPROVED PRODUCT PER 2010 SECTION 800 12
4. MOUND AREAS IN CONCRETE FLOORS FOR SUBROCKING AND FOUNDATION WALLS SHALL BE SEAL WITH TYPICAL MASTIC OF A SIZE AND DEPTH THAT WILL ELIMINATE THE MOUND FROM CONTACT WITH THE INITIAL INSULATION PER 2010 SECTION 800 13
5. LUMBER TAIL, JOIST DETACHER MUST BE INSTALLED TO PROTECT FOUNDATIONS FROM ALL CONTACT. IF REMOVAL OCCURS, REPAIR AND TREATMENT PER 2010 SECTION 800 14
6. COAK BE CONSPICUOUS AND IDENTIFY AROUND THE FOUNDATION PER 2010 SECTION 800 15
7. FOUNDATION SHALL BE RE-APPLIED UNDER ALL EXTERIOR WALLS PER 2010 SECTION 800 16
8. CONCRETE SHALL BE PROTECTED WITH AN APPROVED PRODUCT PER 2010 SECTION 800 17
9. AN EXTERIOR STRUCTURAL ELEMENT BARRIER MUST BE MAINTAINED THROUGHOUT CONSTRUCTION IS COMPLETE INCLUDING THE VERTICAL GARDEN'S APPLICABLE SHALL BE TREATED PER 2010 SECTION 800 18
10. TO PROVIDE FOR INSPECTION FOR TERMIITE PESTIGATION BE THE FINAL CONCRETE AND FINAL EARTH GRADE SHALL BE CONCRETE TREATMENT FINISHES LESS THAN 1" HIGH ABOVE FINISH GRADE TO THE FOUNDATION WALL PER 2010 SECTION 800 19

Proposed Ground Level



Proposed Ground Level



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 15-26001134

Juan Carlos Oliva
 201 To-To-Lo-Chee Dr.
 Hialeah, Florida 33010

Design Professional	Project Number	Signature
Juan Carlos Oliva	100032	
Architect	100032	
Professional Seal		
Scale		
Date		
Sheet Number		
Sheet Date		
Client		
Checklist		
Approved		

Proposed Floor Plans

A-102

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Oliva Residence

Juan Carlos Oliva

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Design Professional	F.L. License Number	Signature
Jorge Albano Parnas	AR092004 ID:8032	

Revisions

Number	Issue	Date

Number	Issue	Date

Sheet Information
Date: 9/11/2014
Job Number: 2014 20
Scale: 1/4" = 1'-0"
Drawn: MB
Checked: MB
Approved: JAP
File

Existing Exterior
 Building
 Elevations

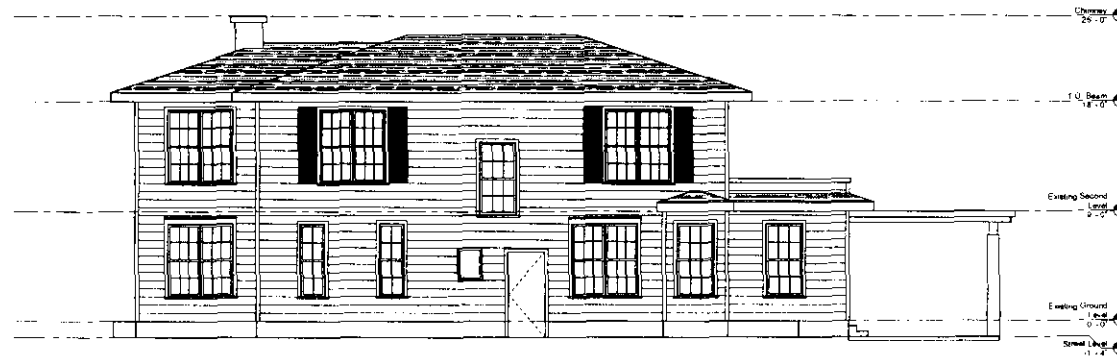
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A-301

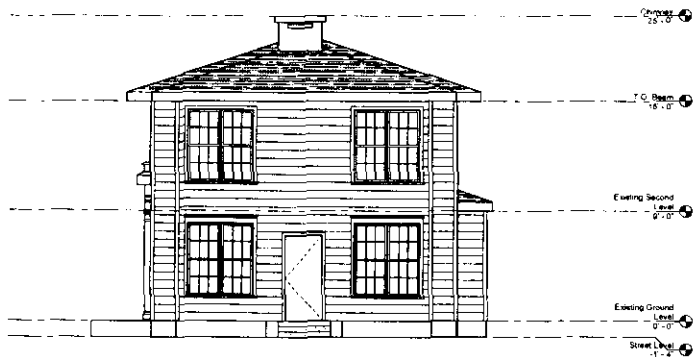
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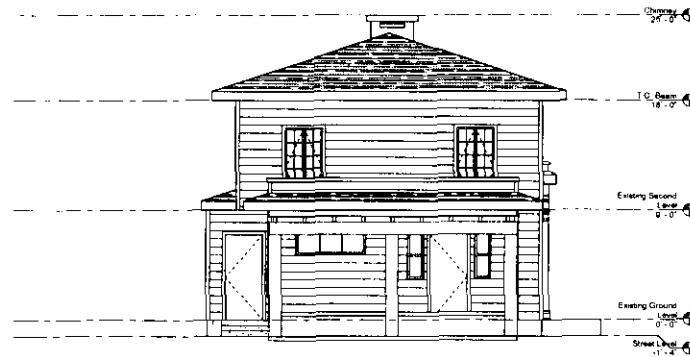
Existing South Elevation
 1/4" = 1'-0"



Existing North Elevation
 1/4" = 1'-0"

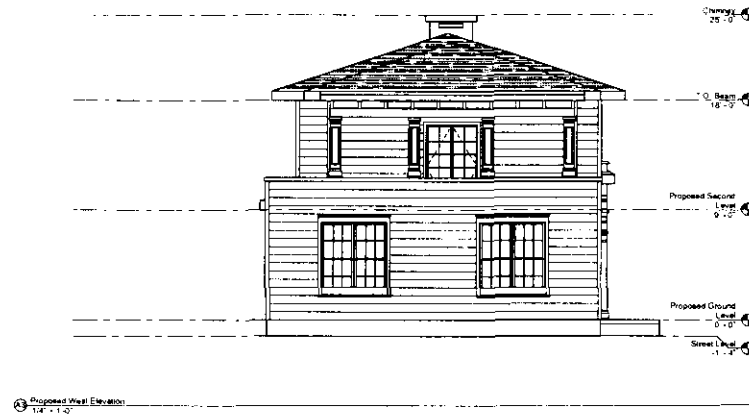
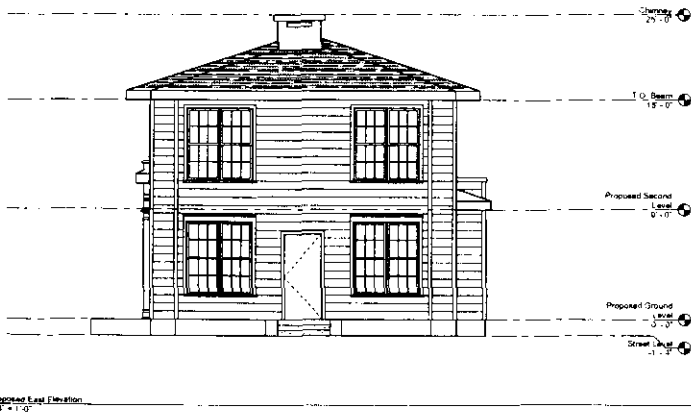


Existing East Elevation
 1/4" = 1'-0"



Existing West Elevation
 1/4" = 1'-0"

BINDING EDGE



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Oliva Residence

Juan Carlos Oliva

201 To-To-Lo-Chee Dr.
 Hialeah, Florida 33010

Design Professional	P.L. License Number	Signature
Jorge Alberto Parias	AR22004 ID5932	

Revisions		
Number	Issue	Date

Sheet Information	
Date	9/11/2014
Job Number	2014_20
Scale	1/4" = 1'-0"
Drawn	JAP
Checked	JAP
Approved	JAP
	Title

**Proposed Exterior
 Building
 Elevations**

A-302

RESOLUTION OF THE HIALEAH HISTORIC PRESERVATION BOARD RECOMMENDING THE ISSUANCE OF A CERTIFICATE OF APPROPRIATENESS TO JUAN CARLOS OLIVA TO ALLOW THE OWNER TO REMOVE THE EXISTING CARPORT AND BUILD A TWO-STORY ADDITION TO HIS EXISTING PROPERTY, LOCATED AT 201 TOTOLOCHEE DRIVE, AND APPLY FOR THE NECESSARY BUILDING PERMIT(S) IN CONNECTION THEREWITH.

WHEREAS, the Hialeah Historic Preservation Board has voted to approve the application for a certificate of appropriateness filed by Juan Carlos Oliva, to allow him to remove the existing carport and build a two-story addition to his existing property, located at 201 Totolochee Drive, and apply for the necessary building permit(s) in connection therewith; and

WHEREAS, this property has been designated a historic site by the Hialeah Historic Preservation Board; and

WHEREAS, the proposed demolition of the carport and the proposed new construction are both in keeping with, and will not affect, the historic character of the home; and

WHEREAS, in fact, the carport was a poorly constructed addition from the 1950s that does not maintain the historic character of the home; and

WHEREAS, the new construction will consist of a new family room on the first floor, where the carport is currently located, a new studio room on the second floor, where the existing balcony is located, and a new covered balcony on the second floor, where the existing carport is located; and


WHEREAS, in keeping with the historic character of the home, the new construction will include the use of asphalt shingle roofing on Dade Pine rafters and beams, and colonial-style wood and aluminum frames for the windows and doors.

NOW, THEREFORE, BE IT RESOLVED BY THE HIALEAH HISTORIC PRESERVATION BOARD THAT:

Section 1. The Hialeah Historic Preservation Board hereby recommends approval of the certificate of appropriateness filed by Juan Carlos Oliva, to allow him to remove the existing carport and build a two-story addition to his existing property, located at

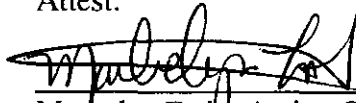
201 Totolochee Drive, and apply for the necessary building permit(s) in connection therewith.

PASSED AND RATIFIED this 18th day of June, 2014.



Maria Espinosa, Board Chair

Attest:



Marbelys Fatjo, Acting City Clerk